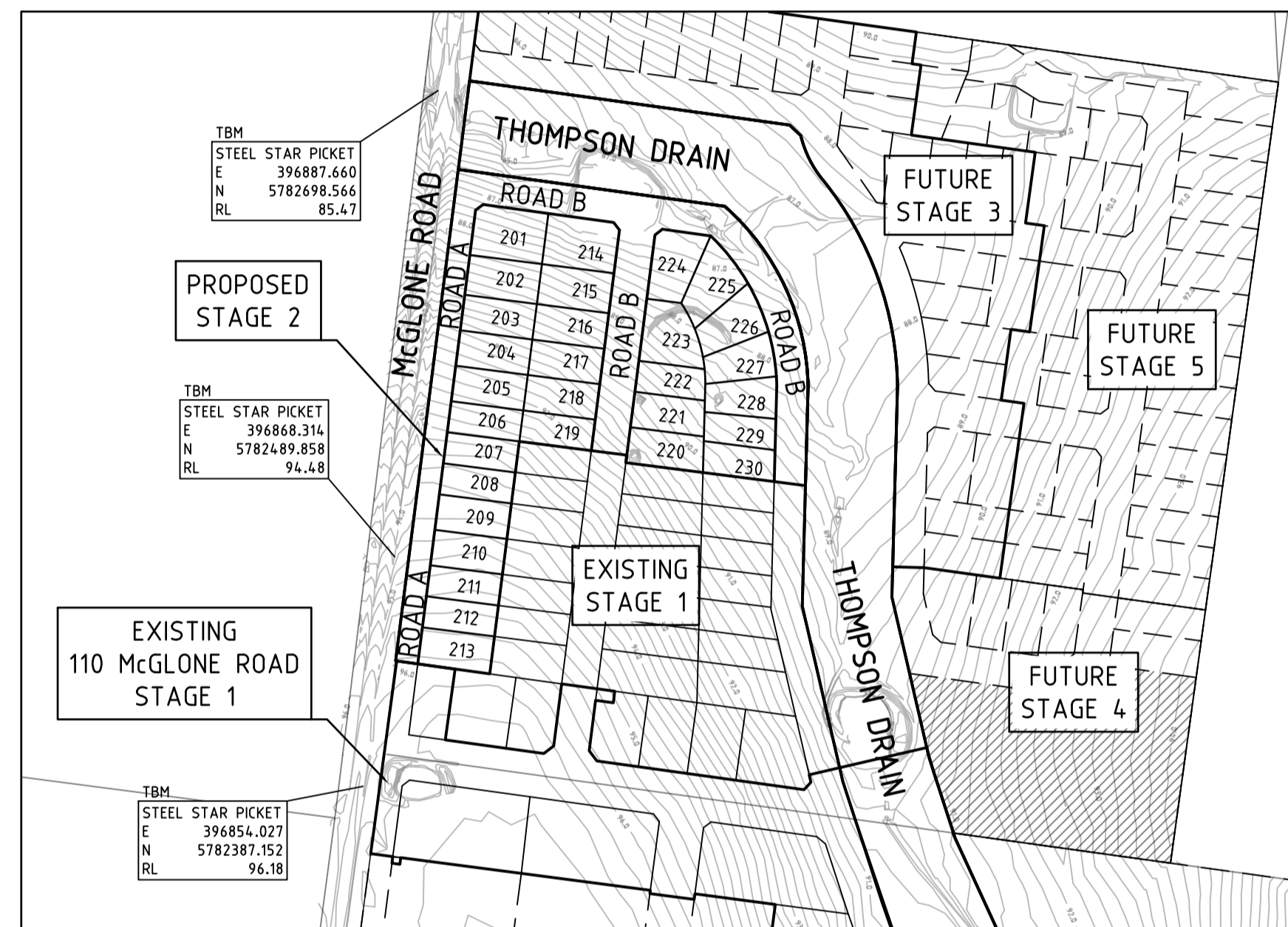
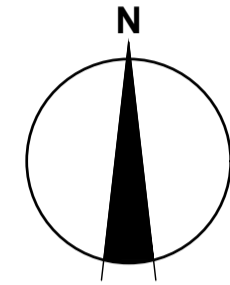


175 MCGLONES ROAD, DROUIN

FUNCTIONAL LAYOUT PLAN - STAGE 2

BAW BAW SHIRE COUNCIL - PLA0382/16



LOCALITY PLAN
VIC ROADS REF: 96 F3

Drawing Index

- 16028-02-91 Locality Plan
- 16028-02-92 Layout Plan
- 16028-02-93 Typical Cross Sections
- 16028-02-94 Swept Path Diagrams

Principal

Seebo Properties Pty Ltd
PO Box 342
Berwick, VIC, 3806

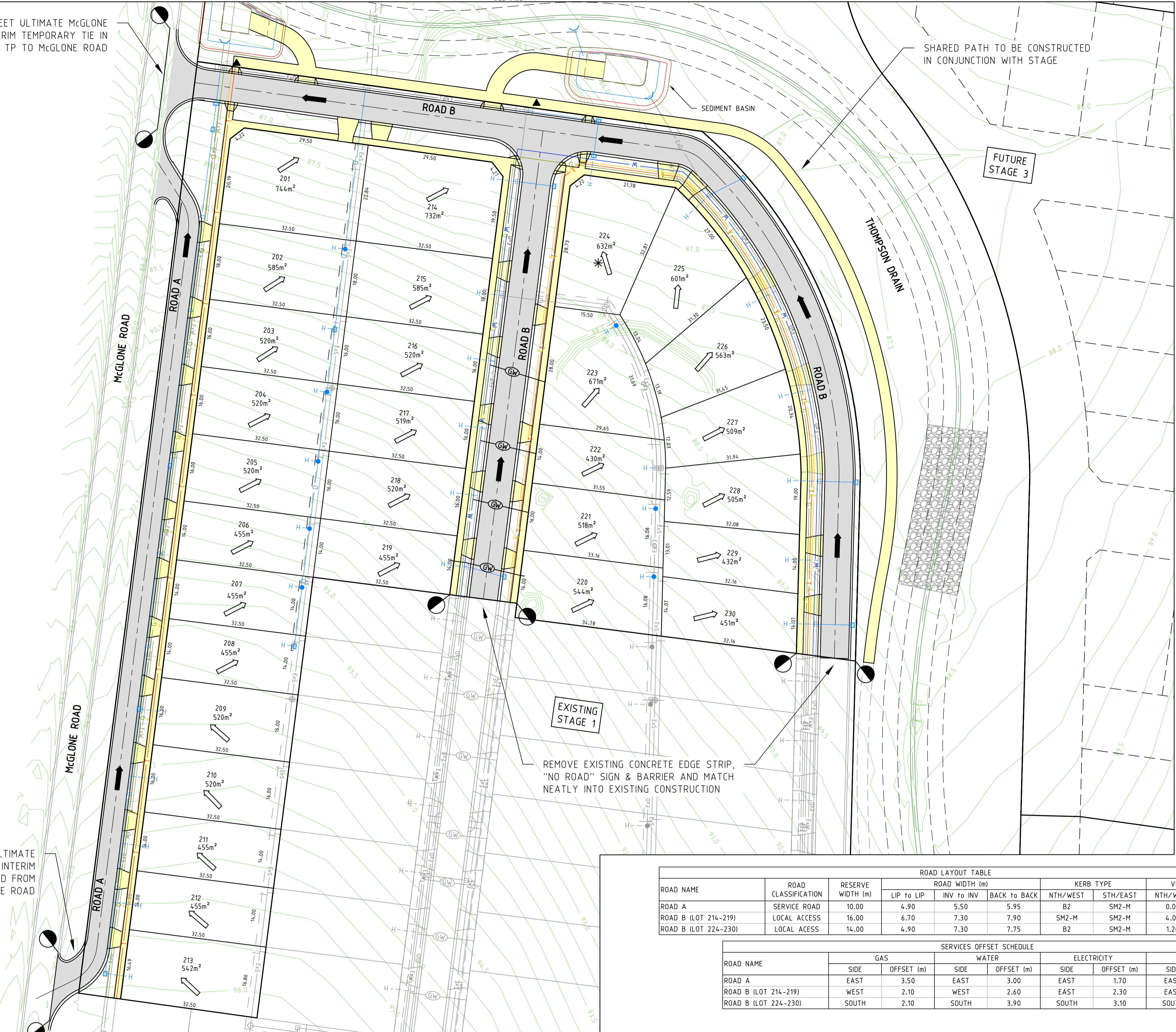


Taylor Miller Pty Ltd
ABN 96 153 508 199
6/82 Smith St, Warragul VIC 3820
info@taylormiller.com.au
(03) 5622 0606
taylormiller.com.au

ROAD DESIGNED TO MEET ULTIMATE MCGLONE ROAD ALIGNMENT. INTERIM TEMPORARY TIE IN REQUIRED FROM KERB TP TO MCGLONE ROAD

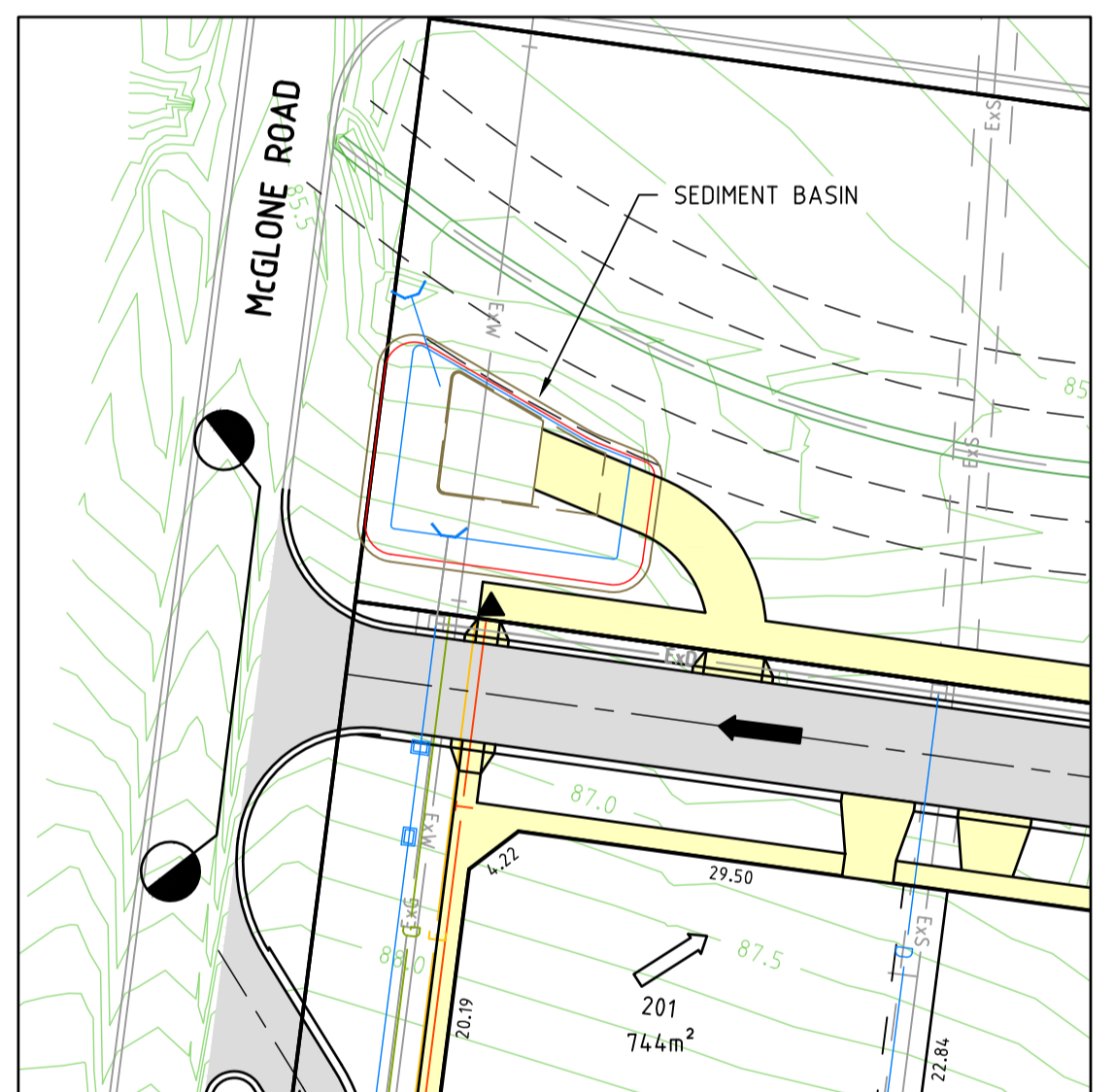
SHARED PATH TO BE CONSTRUCTED IN CONJUNCTION WITH STAGE

SEE INSET A



LEGEND - LAYOUT PLAN

- STORMWATER DRAIN, PIT & PROPERTY INLET
- SWALE DRAIN
- SEWER & MAINTENANCE STRUCTURES
- HOUSE DRAIN
- SERVICE CONDUITS
- TACTILE PAVERS
- EXISTING ELECTRICITY (UNDERGROUND)
- EXISTING ELECTRICITY (OVERHEAD)
- EXISTING GAS
- EXISTING TELSTRA
- EXISTING WATER
- EXISTING RISING MAIN
- EXISTING RECYCLED WATER
- EXISTING STORMWATER DRAIN
- EXISTING SEWER
- EXISTING HOUSE DRAIN
- EXISTING SWALE DRAIN
- EXISTING SURFACE LEVEL
- FINISHED BUILDING LINE LEVEL
- FINISHED RIDGE LINE LEVEL
- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL
- RETAINING WALL
- ZERO LOT LINES
- PAVEMENT TREATMENT
- STRUCTURAL FILL > 200mm DEEP
- EX. STRUCTURAL FILL > 200mm DEEP
- DIRECTION OF FALL
- OVERLAND FLOW
- ALLOTMENT TO BE GRADED EVENLY IN DIRECTION OF FALL TO LEVELS INDICATED
- CONCRETE EDGE STRIP WITH SUBSOIL DRAIN, "NO ROAD" SIGN & BARRIER
- LIMIT OF WORKS
- EXISTING TREE TO BE RETAINED/REMOVED
- PERMANENT SURVEY MARK
- TEMPORARY BENCH MARK
- PROPOSED DRIVEWAY
- PROPOSED STREET LIGHT



INSET A

EXISTING STAGE 1

REMOVE EXISTING CONCRETE EDGE STRIP, "NO ROAD" SIGN & BARRIER AND MATCH NEATLY INTO EXISTING CONSTRUCTION

ROAD DESIGNED TO MEET ULTIMATE MCGLONE ROAD ALIGNMENT. INTERIM TEMPORARY TIE IN REQUIRED FROM KERB TP TO MCGLONE ROAD

ROAD LAYOUT TABLE

ROAD NAME	ROAD CLASSIFICATION	RESERVE WIDTH (m)	ROAD WIDTH (m)			KERB TYPE		VERGE WIDTH (m)	
			LIP to LIP	INV to INV	BACK to BACK	NTH/WEST	STH/EAST	NTH/WEST	STH/EAST
ROAD A	SERVICE ROAD	10.00	4.90	5.50	5.95	B2	SM2-M	0.00	4.05
ROAD B (LOT 214-219)	LOCAL ACCESS	16.00	6.70	7.30	7.90	SM2-M	SM2-M	4.05	4.05
ROAD B (LOT 224-230)	LOCAL ACCESS	14.00	4.90	7.30	7.75	B2	SM2-M	1.20	5.05

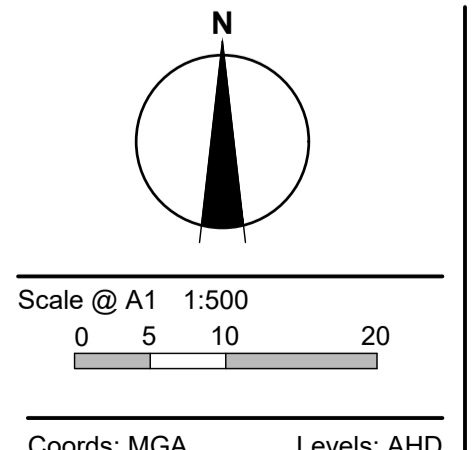
SERVICES OFFSET SCHEDULE

ROAD NAME	GAS		WATER		ELECTRICITY		TELECOM	
	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)	SIDE	OFFSET (m)
ROAD A	EAST	3.50	EAST	3.00	EAST	1.70	EAST	1.00
ROAD B (LOT 214-219)	WEST	2.10	WEST	2.60	EAST	2.30	EAST	1.80
ROAD B (LOT 224-230)	SOUTH	2.10	SOUTH	3.90	SOUTH	3.10	SOUTH	2.60

REVISION	DATE	DES/DF	APPD
A	05.06.20	NG/NG	MW

Principal
Seebo Properties Pty Ltd
PO Box 342, Berwick, VIC, 3806

Designed
N.Green
Drawn
N.Green
Checked
M.Warry
Authorised
K.Taylor
Date
June 2020



© Taylor Miller Pty Ltd
These designs and drawings are the copyright of Taylor Miller Pty Ltd. The drawing shall not be reproduced or copied, in whole or part, without the written permission of Taylor Miller Pty Ltd.
The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they are intended.

TaylorMiller.
Taylor Miller Pty Ltd
ABN 96 153 508 199
6/82 Smith St, Warragul VIC 3820
info@taylormiller.com.au
(03) 5622 0606
taylormiller.com.au

175 MCGLONES ROAD, DROUIN
FUNCTIONAL LAYOUT PLAN - STAGE 2
BAW BAW SHIRE COUNCIL - PLA0382/16
FUNCTIONAL LAYOUT PLAN
LAYOUT PLAN

Drawing No. 16028-2-92
Sheet No. 02 of 04

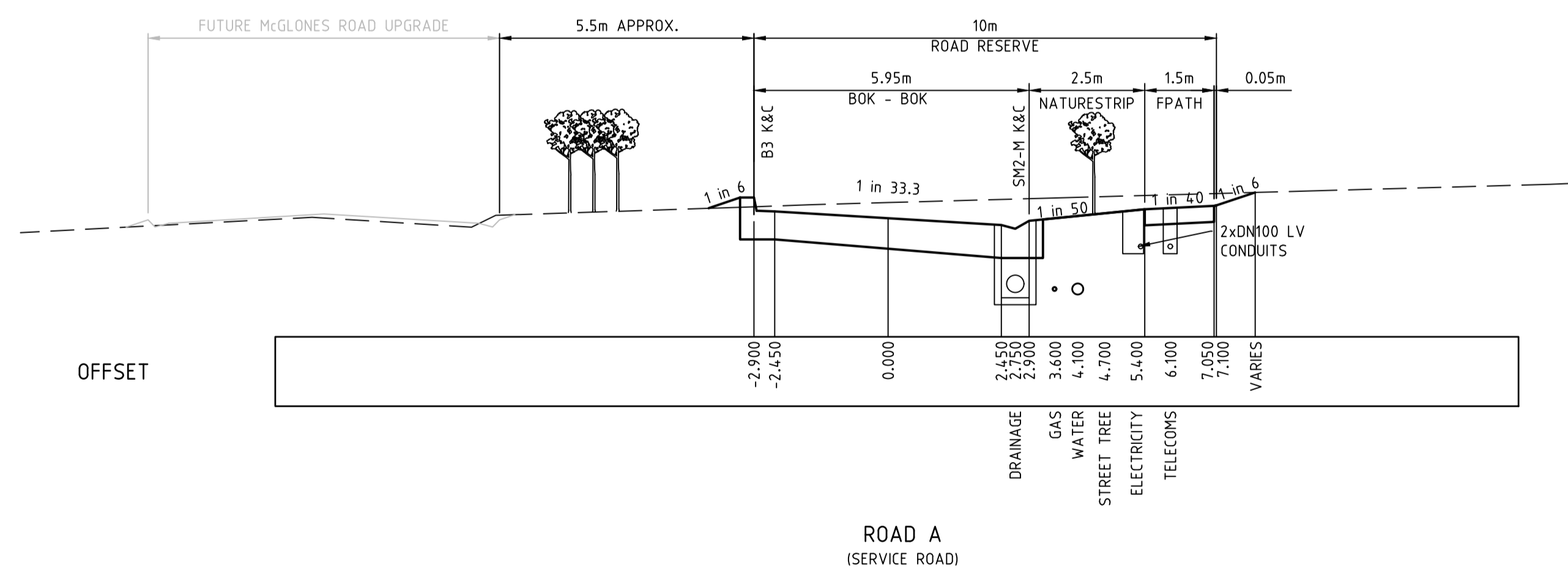
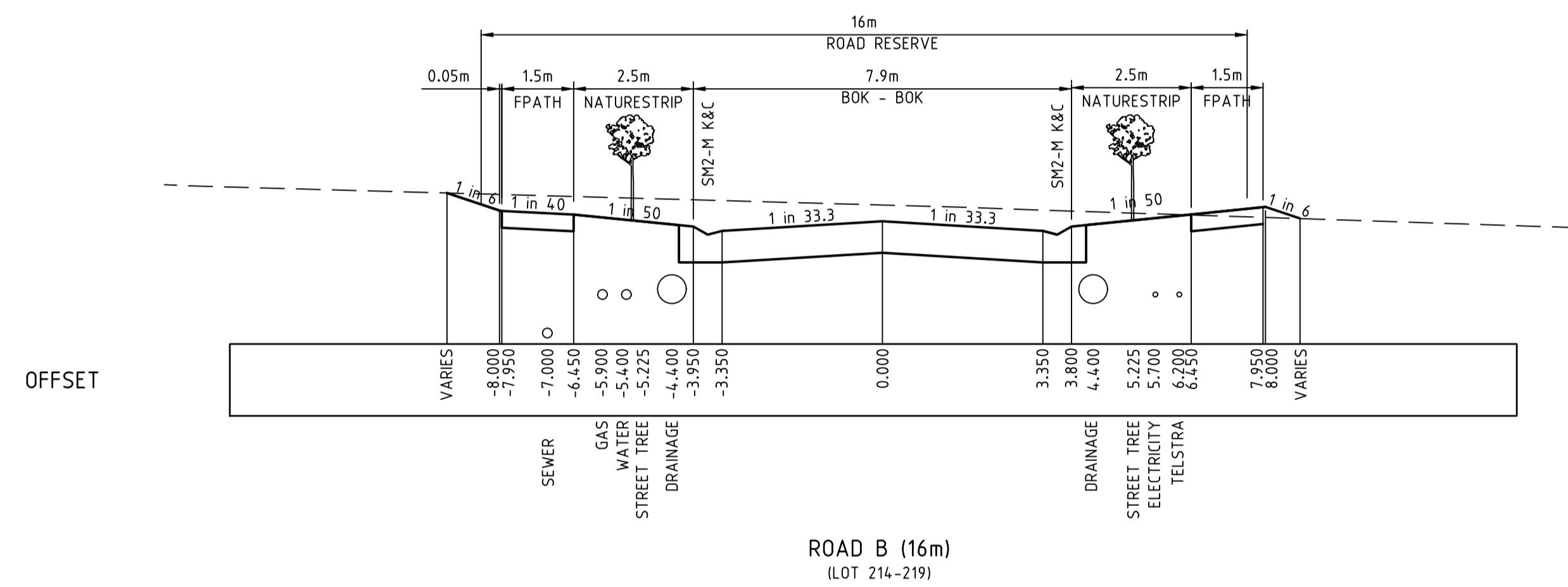
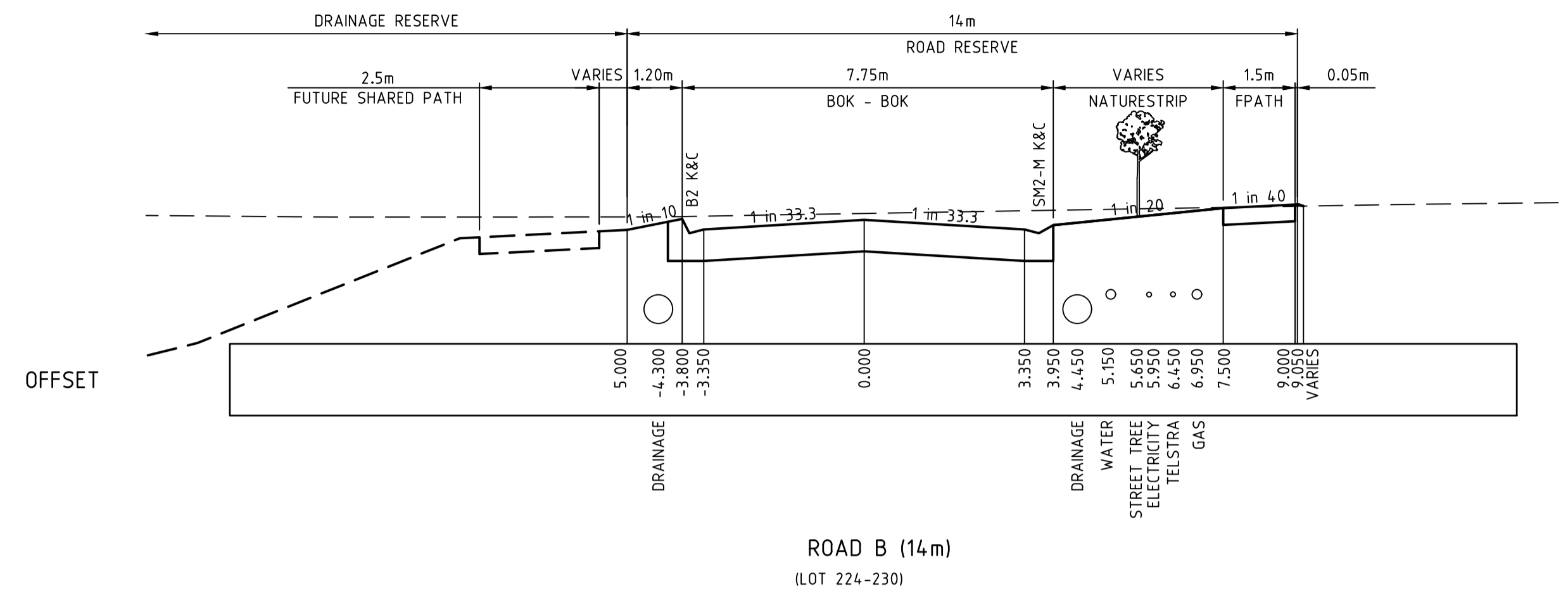
Rev A

FOR APPROVAL

Engineering Design | Development Coordination | Construction Management

STRUCTURAL FILL REQUIRED UNDER
PAVEMENT AND FOOTPATHS WHERE
CONSTRUCTED ABOVE EXISTING SURFACE

LEGEND	
	EXISTING SURFACE
	DESIGN LINE
	FUTURE DESIGN LINE



I:\work\16028-175 mcglones rd drouin\16028-02.dwg 16028-2-03

REVISION	DATE	DES/DT	APPD
A	05.06.20	NG/NG	MW

Principal
Seebo Properties Pty Ltd
PO Box 342
Berwick, VIC, 3806

Designed
N.Green

Drawn
N.Green

Checked
M.Warry

Authorised
K.Taylor

Date
June 2020

Scale @ A1 H1:100 V1:50

Coords: MGA Levels: AHD

© Taylor Miller Pty Ltd

These designs and drawings are the copyright of Taylor Miller Pty Ltd. The drawing shall not be reproduced or copied, in whole or part, without the written permission of Taylor Miller Pty Ltd.

The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they are intended.

Taylor Miller.

Taylor Miller Pty Ltd
ABN 96 153 508 199
6/82 Smith St, Warragul VIC 3820
info@taylormiller.com.au
(03) 5622 0606
taylormiller.com.au

Engineering Design | Development Coordination | Construction Management

175 MCGLONES ROAD, DROUIN
FUNCTIONAL LAYOUT PLAN - STAGE 2
BAW BAW SHIRE COUNCIL - PLA0382/16
FUNCTIONAL LAYOUT PLAN
TYPICAL SECTIONS

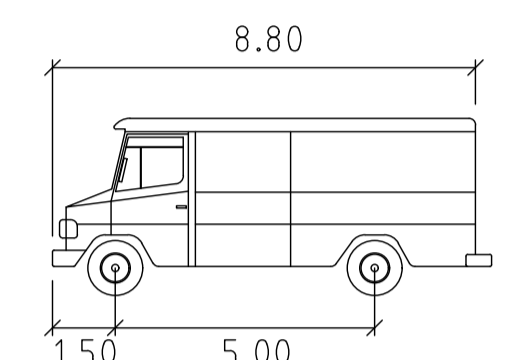
Drawing No. 16028-2-93
Sheet No. 03 of 04

Rev A

FOR APPROVAL

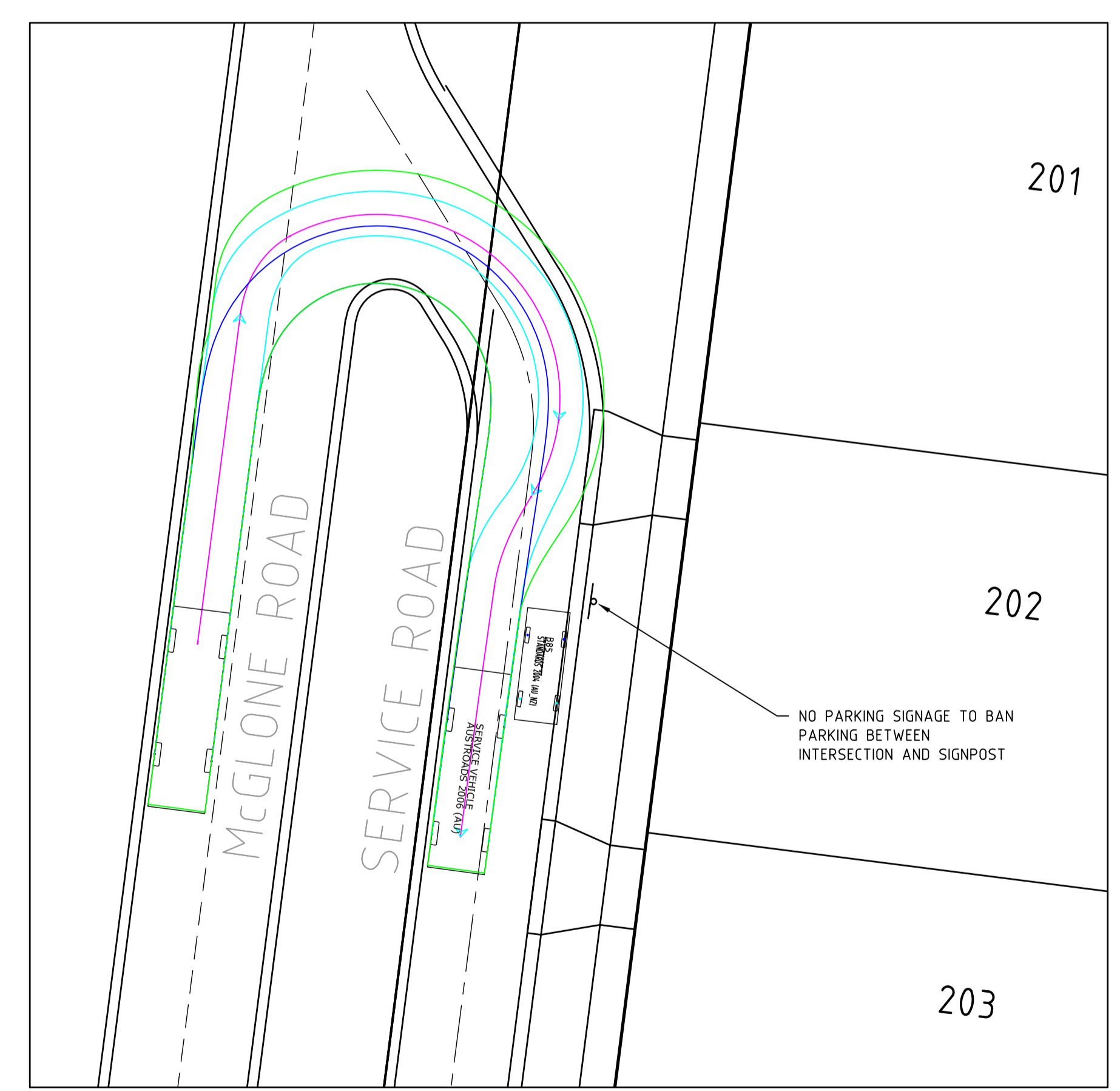
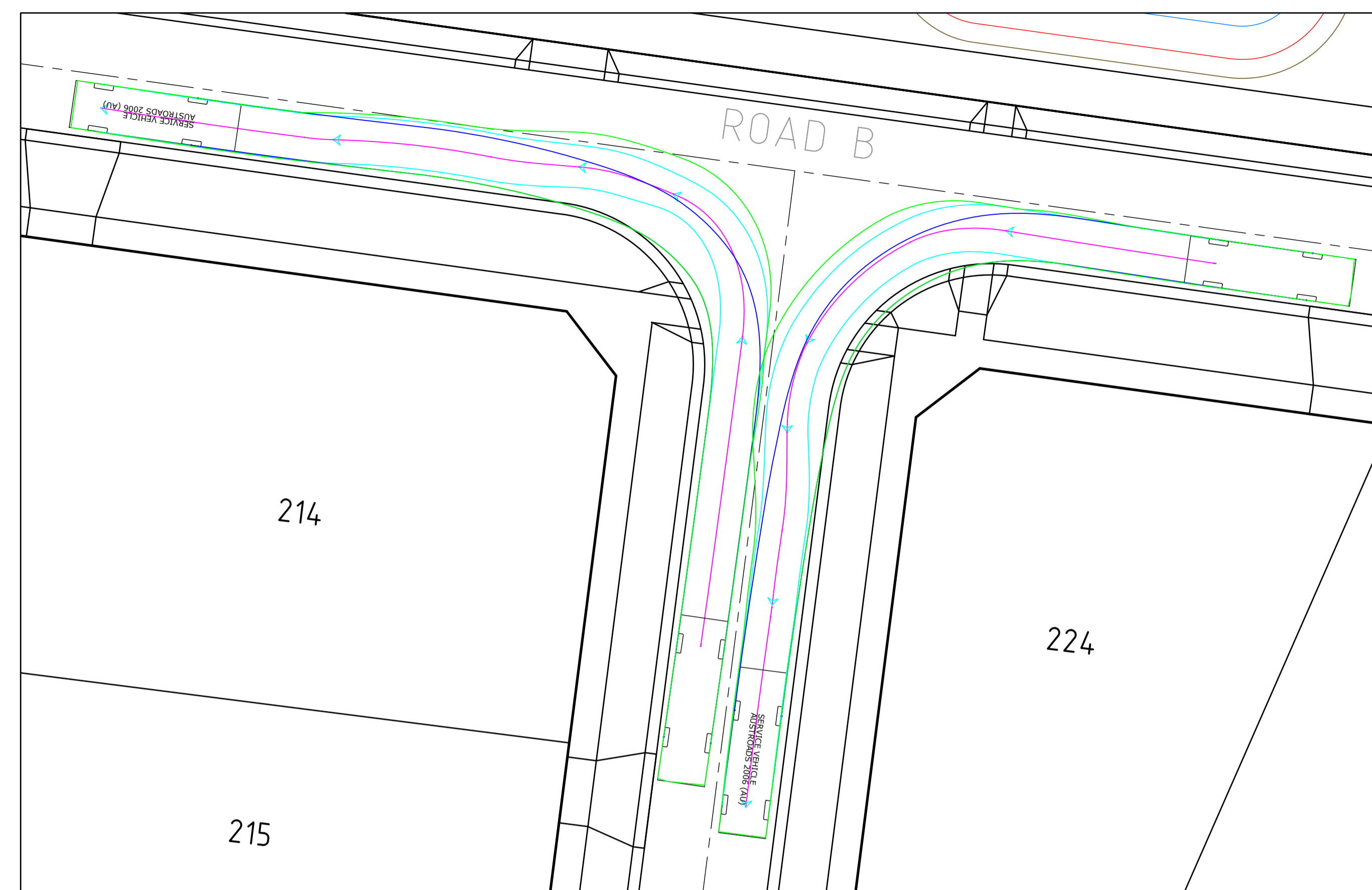
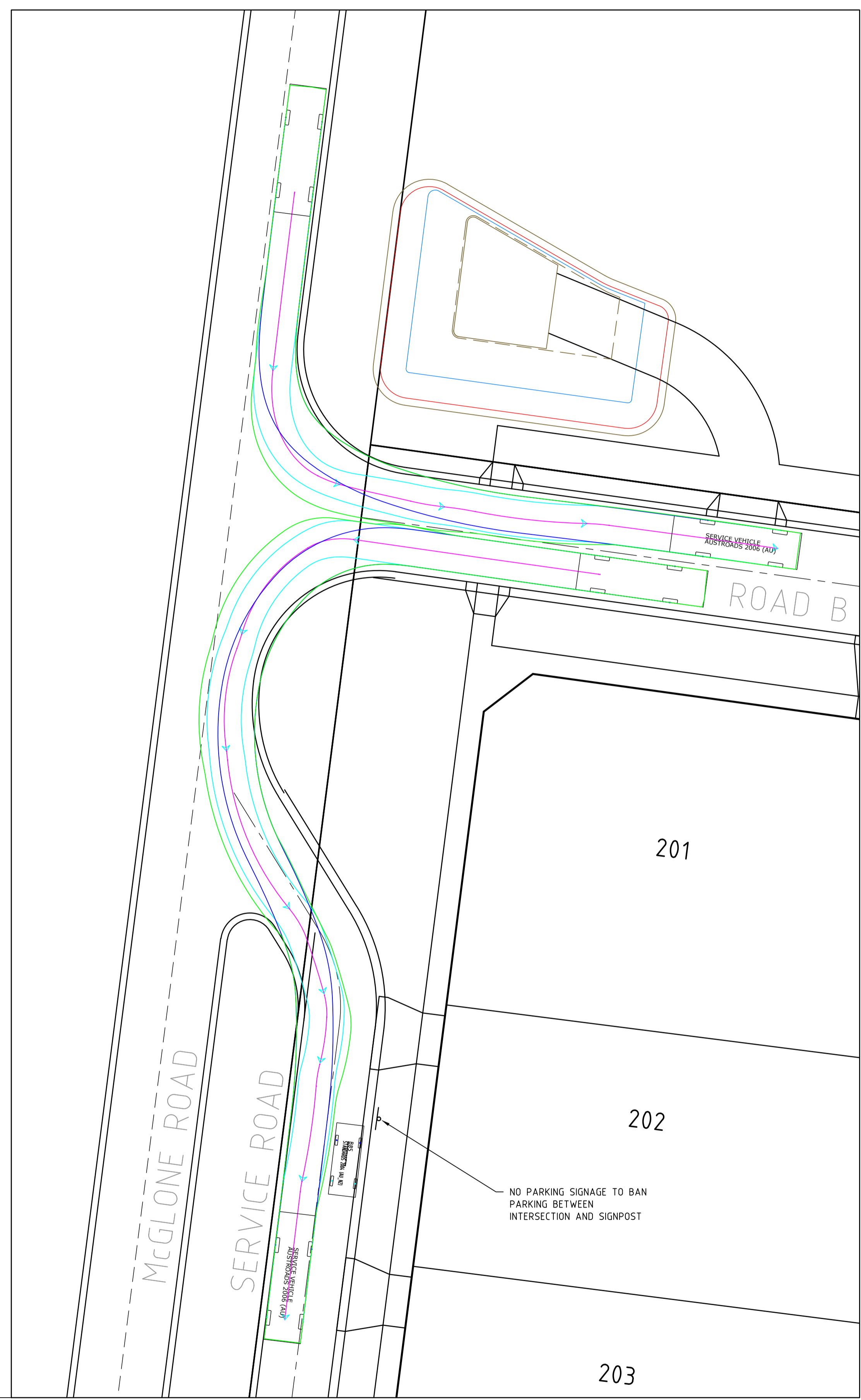
WARNING
BEWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site.
 No guarantee is given that all existing services are shown. Locate all underground services before commencement of works.
DIAL 1100 BEFORE YOU DIG
 www.1100.com.au

LEGEND - SWEEP PATH DIAGRAMS
 PATH CENTRELINE
 FRONT WHEELBASE
 REAR WHEELBASE
 VEHICLE BODY



SERVICE VEHICLE

Width	: 2.50	Meters
Track	: 2.50	
Lock to Lock Time	: 6.0 s	
Steering Angle	: 38.7 deg	

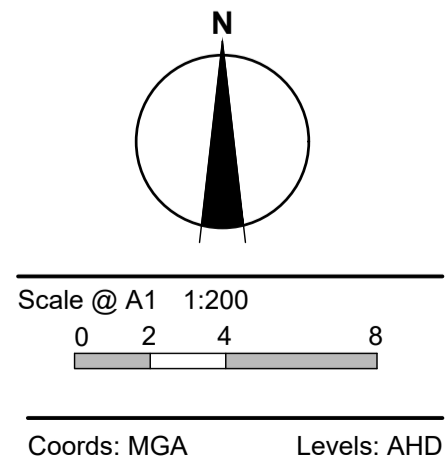


I:\work\16028-175 mcglones rd drouin\16028-02.dwg 16028-2-94

REVISION	DATE	DES/DT	APPD
A	05.06.20	NG/NG	MW

Principal
 Seebo Properties Pty Ltd
 PO Box 342,
 Berwick, VIC, 3806

Designed
 N.Green
 Drawn
 N.Green
 Checked
 M.Warry
 Authorised
 K.Taylor
 Date
 June 2020



© Taylor Miller Pty Ltd
 These designs and drawings are the copyright of Taylor Miller Pty Ltd. The drawing shall not be reproduced or copied, in whole or part, without the written permission of Taylor Miller Pty Ltd.
 The contents of this drawing are electronically generated, are confidential and may only be used for the purpose for which they are intended.

TaylorMiller.
 Taylor Miller Pty Ltd
 ABN 96 153 508 199
 6/82 Smith St, Warragul VIC 3820
 info@taylormiller.com.au
 (03) 5622 0606
 taylormiller.com.au

Engineering Design | Development Coordination | Construction Management

175 MCGLONES ROAD, DROUIN
 FUNCTIONAL LAYOUT PLAN - STAGE 2
 BAW BAW SHIRE COUNCIL - PLA0382/16
 FUNCTIONAL LAYOUT PLAN
 SWEEP PATH DIAGRAMS

Drawing No. 16028-2-94
 Sheet No. 04 of 04

Rev A

FOR APPROVAL