

THE FAIRWAYS

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Design Guidelines

thefairwaysdrouin.com.au

LAND *gripps*

Design Guidelines

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The Fairways Vision

The vision for The Fairways is to create a superior living environment that is centered around a strong sense of community and provides premium housing solutions to suit a luxurious and aspirational lifestyle.

The existing canvas that is The Fairways is blessed with an abundance of open space and native Australian vegetation. The Developer intends to create a neighbourhood of architecturally designed and landscaped homes that enhance the health and wellbeing opportunities for The Fairways residents.

The homes and their landscaping should provide a private and secure residency connected to landscaped waterways, sporting clubs and manicured open spaces. The Design Guidelines have been created to provide confidence in investing in your dream at The Fairways. It is important that the design of your home is keeping with in the Design Guidelines outlined in this document.

The built form and the surrounding landscaping should be sympathetic to the existing natural environment. We encourage the use of colours and materials that best blend with the surrounding landscapes whilst having individual character and diversity.

Whilst a consistent theme is encouraged, these guidelines have been developed to help us collaborate together and assist with the exciting evolution of The Fairways.



Purpose of these guidelines

These design guidelines have been created to ensure that the design of each home has been carefully considered, with a consistent vision in mind. Your dwelling and landscaping should be mindful of the golf course aesthetic and existing mature vegetation surrounding the development.

The Fairways Design Guidelines have been created to:

- Encourage visually appealing streetscapes.
- Provide certainty about the standard of housing.
- Assure you that everyone will contribute equally to achieving a strong neighbourhood character.
- Protect your investment.
- Promote a modern Australian architectural style.
- Deliver on 'The Fairways Vision'.



Submission Process

Assessment

Prior to works commencing on your home, you must submit to the Design Approval Panel, PDF plans of the following:

- Working drawings showing a site plan with the relevant setbacks shown.
- All external elevations of the home.
- Floor plan to scale with dimensions.
- External colours and materials to be used.

Submission

All plans are to be submitted via email to:
info@landgipps.com.au

Include the following details in the body of the email:

- Full Name
- Lot Number
- Email Address
- Contact Number

Submissions to the Design Approval Panel are in addition to any statutory approvals with the Baw Baw Shire Council.

Approval

Your submission will be reviewed by the Design Approval Panel. Once approved you will receive an email indicating your approval and to proceed with the next stage of your building process.

Whilst LandGipps and the Developer will endeavour to ensure compliance with these Design Guidelines wherever possible, they will not be responsible or liable to any person for any loss, damage or injury arising whether directly or indirectly from any noncompliance with these Design Guidelines.

For any further information or enquiries, please contact LandGipps on 1300 545 263.

Site Plan



Country Living Urban Living

Artists impression only. Please note it is important to acknowledge the details of each allotment may be subject to change over the course of construction and planning of the development. While these plans are accurate at the time of printing, we encourage all interested parties to contact us directly at LandGipps for the most accurate and up to date subdivision plan.



Country Living Design Guidelines

Country Living Design Guidelines

Building Envelopes and Setbacks

Building envelopes with relevant setbacks are incorporated into the restrictive covenant.

Corner blocks – the home must address both street frontages. The building should be designed so that the windows in non-habitable rooms are not facing the street. Front façade materials/features should continue on the side of the building visible to the street.

Building and Construction

All dwellings to have a minimum of 30 squares of living space (excluding garages, balconies, porches, verandahs and alfresco areas).

Dwellings to be primarily brick, brick render, rendered hebel, or rendered masonry.

All materials are to be new and non-reflective.

Dwellings with an identical façade must not be constructed within five lots of each other, either on the same or opposite side of the street.

External colours should be colour co-ordinated with the dwelling.

External colours should be neutral and sympathetic to the surrounding landscape.

External walls should have no more than 70% brick. A minimum of two materials should be used on the front façade such as render, cladding, tiles, timber, stone or brick.

Eaves are permitted to all primary frontages, extending at least 3m down the side of dwellings. Corner lots must have eaves along the entire length of secondary frontages. Contemporary style facades employing flat rooves are not required to have eaves.

Single storey dwellings must have eaves of at least 450mm along any elevation (excluding the garage) that faces a road or reserve.

Double storey houses must have eaves of at least 450mm along all elevations.

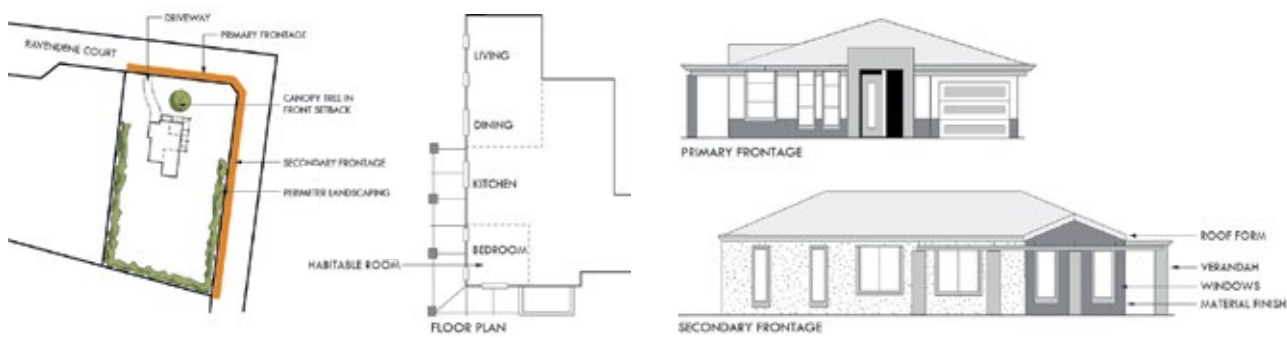
Garages should not dominate the streetscape (including secondary frontages, where applicable) and must be sited at least 1m behind the primary façade of the dwelling.

Double garages must be provided on all blocks.

Garages can be separate from the main dwelling but must be constructed of the same materials and complement the style of the home.

Country Living Design Guidelines

Example Corner Lot Layout

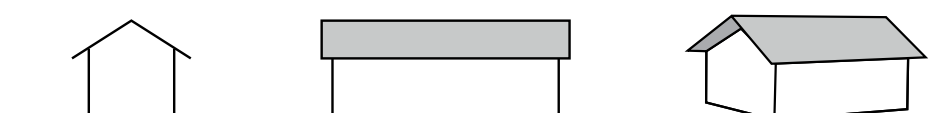


Roof Design Guidelines

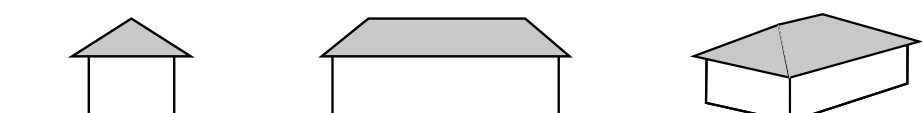
Skillion Roof
10-30 Degrees



Gabled / Pitched Roof
22.5-30 Degrees



Hipped Roof
22.5-30 Degrees



Flat Roof



Country Living Design Guidelines

Facade Examples



Letterboxes

Letterboxes must be constructed to complement the style of the home and can incorporate similar materials.

Driveways and Paths

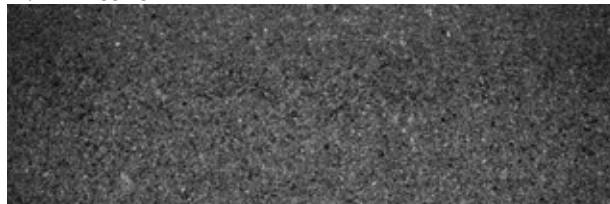
Driveways must be completed prior to occupancy of the home.

Driveways should be constructed of coloured concrete, exposed aggregate or asphalt. Plain, uncoloured concrete driveways are not permitted.

Driveways and Path Materials



Exposed Aggregate



Asphalt



Coloured Concrete

Country Living Design Guidelines

Sheds / Out Buildings

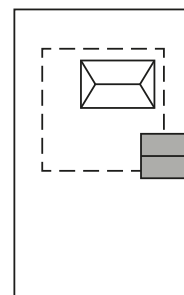
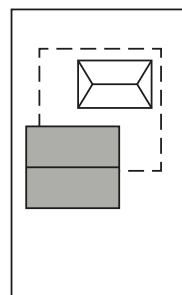
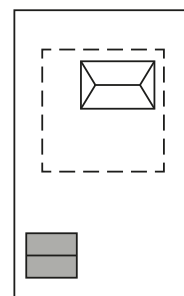
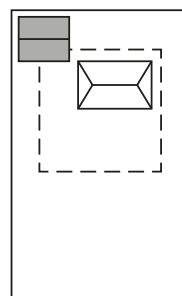
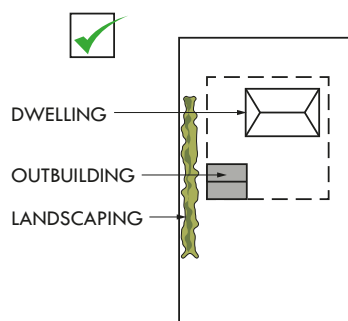
Sheds and outbuilding are permitted but must be constructed of new and non-reflective materials (preference towards Colourbond) and not exceed a floor area of 120m². Sheds must be to the rear of the home and preferably built in Colourbond or similar materials as the home. Each allotment has an area shown in the Building Envelopes for which siting of sheds is permitted. Anything outside those designated areas needs to be approved in writing by the Developer Approval Panel.

Outbuildings should be designed and sited in addition to the following guidelines:

- Locate the outbuilding so as to minimise visual impact.
- Scale to ensure the dwelling is the dominant visual structure
- Outbuildings must be constructed in materials and colours that are consistent and complimentary to the dwelling and surrounding landscape.
- Materials and colours must be non-reflective.

Outbuildings should not:

- Be sited in front of the dwelling
- Become the dominant visual structure
- Be overly isolated from the dwelling
- Be sited on a boundary



Country Living Design Guidelines

Fencing

Post and wire fencing will be provided to the back and side boundaries by the developer prior to settlement.

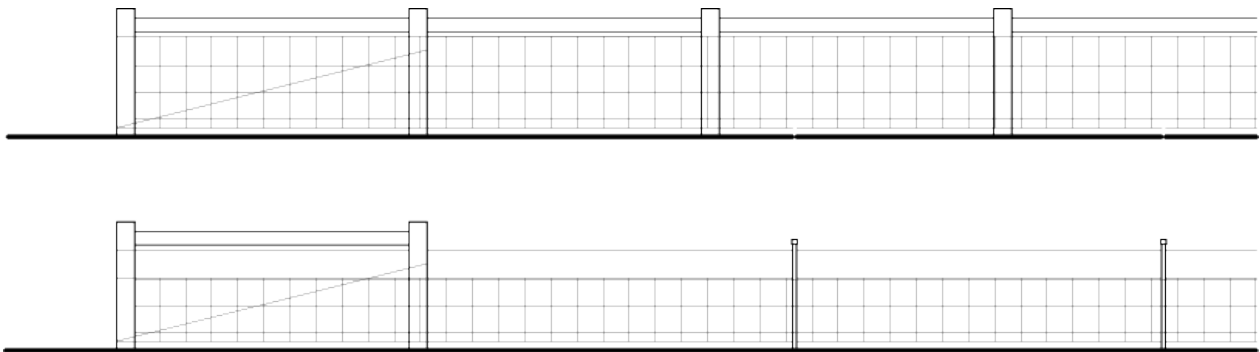
The fencing can be stained or oiled but not painted.

Galvanised or black PVC coated wire mesh may be permanently attached to the fence in order to create a secure space for smaller domestic animals.



Post and wire fencing example

Post & Rail Fencing Examples




Ancillary Items

The construction of the dwelling must commence within 12 months of settlement and must be completed within 12 months from the start of works.

Boundary fencing must be fully constructed prior to occupancy.

Driveways must be fully constructed prior to occupancy.



Urban Living Design Guidelines

Urban Living Design Guidelines

Building Envelopes and Setbacks

Building envelopes with relevant setbacks are incorporated into the restrictive covenant.

Generally, the following setbacks are required:

- A minimum setback of 4m is required from the front boundary.
- Front loaded garage setbacks must comply with the following requirements:
 1. if the building envelope plan allows an alternative setback, the garage must not be setback between 3 and 5 metres from the front boundary; or
 2. if the building envelope plan allows a front setback of 3 metres, the garage must be setback a minimum of 5 metres from the front boundary; or
 3. in all other instances on other lots the garage must be setback a minimum of 5.5 metres from the front boundary.
- A minimum setback of 1.0m is required from side boundaries (excluding garages).
- A minimum setback of 2.0m is required from the secondary street boundary.
- A minimum setback of 2.0m is required from the rear boundary.

Corner blocks – the home must address both street frontages. The building should be designed so that the windows in non-habitable rooms are not facing the street. Front façade materials/features should continue on the side of the building visible to the street.

Building and Construction

All dwellings to have a minimum of 17 squares of living space (excluding, garages, balconies, porches, verandahs and alfresco areas).

Dwellings to be primarily brick, brick render, rendered hebel, or rendered masonry. All materials are to be new and non-reflective.

Dwellings with an identical façade must not be constructed within five lots of each other, either on the same or opposite side of the street.

External colours should be colour co-ordinated with the dwelling.

External colours should be neutral and sympathetic to the surrounding landscape.

External walls should have no more than 70% brick. A minimum of two materials should be used on the front façade such as render, cladding, tiles, timber, stone or brick.

Eaves are permitted to all primary frontages, extending at least 3m down the side of dwellings. Corner lots must have eaves along the entire length of secondary frontages. Contemporary style facades employing flat rooves are not required to have eaves.

Single storey dwellings must have eaves of at least 450mm along any elevation (excluding the garage) that faces a road or reserve.

Double storey houses must have eaves of at least 450mm along all elevations.

Garages should not dominate the streetscape (including secondary frontages, where applicable) and must be sited at least 1m behind the primary façade of the dwelling.

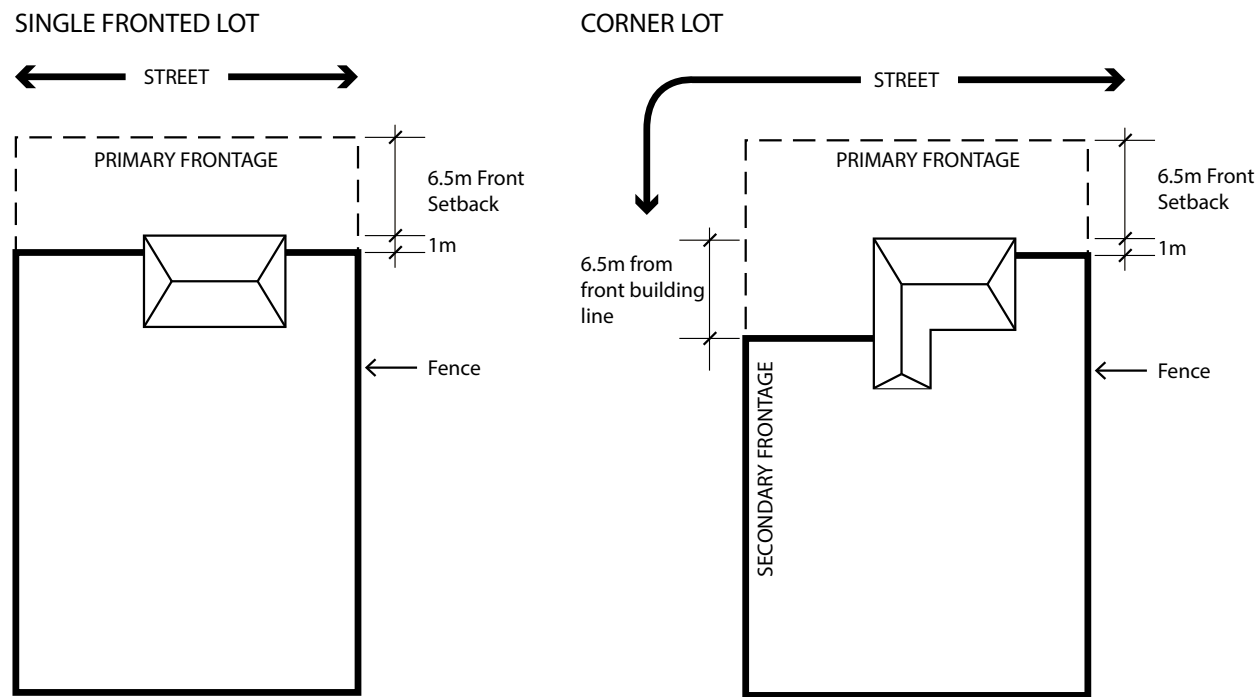
Double garages must be provided on all blocks.

Garages can be separate from the main dwelling but must be constructed of the same materials and complement the style of the home.

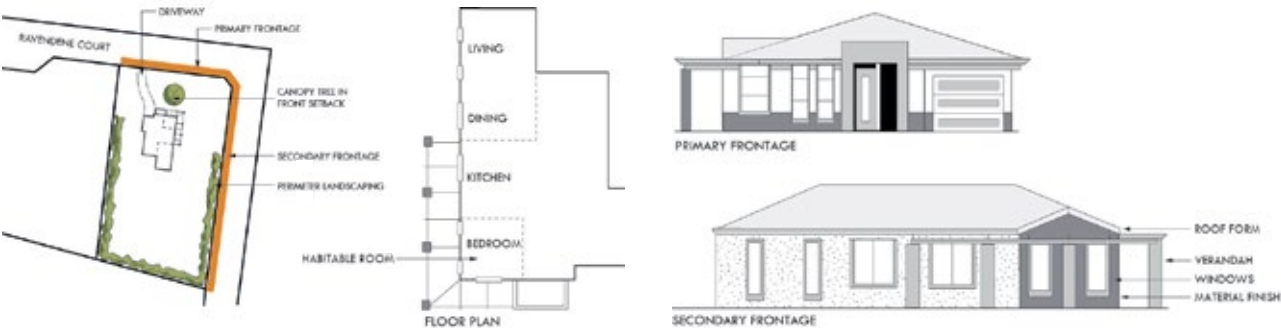
A diverse range of roof structures are encouraged such as skillion or pitched, with hips and gables.

Urban Living Design Guidelines

Example Lot Layouts



Example Corner Lot Layout



Urban Living Design Guidelines

Facade Examples



Letterboxes

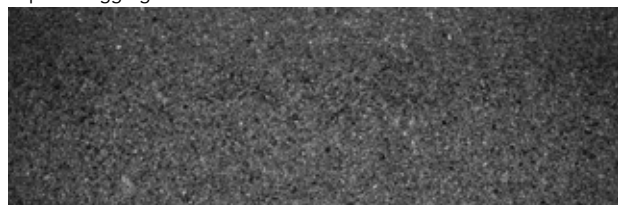
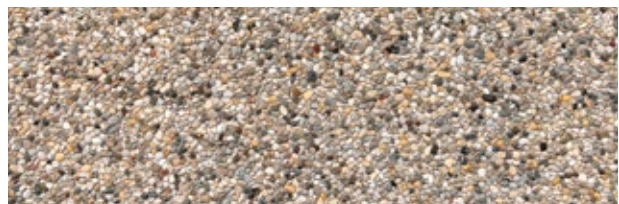
Letterboxes must be constructed to complement the style of the home and can incorporate similar materials.

Driveways and Paths

Driveways must be completed prior to occupancy of the home.

Driveways should be constructed of coloured concrete, exposed aggregate or asphalt. Plain, uncoloured concrete driveways are not permitted.

Driveways and Path Materials

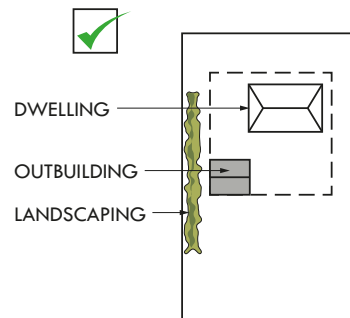


Urban Living Design Guidelines

Sheds / Out Buildings

Garden sheds/out buildings must not have a roof height of more than 2.5m or a floor area of more than 20m². Sheds must be to the rear of the home and preferably built in Colourbond or similar materials as the home.

Each allotment has an area shown in the Building Envelopes for which siting of sheds is permitted. Anything outside those designated areas needs to be approved in writing by the Developer Approval Panel.



External Fixtures

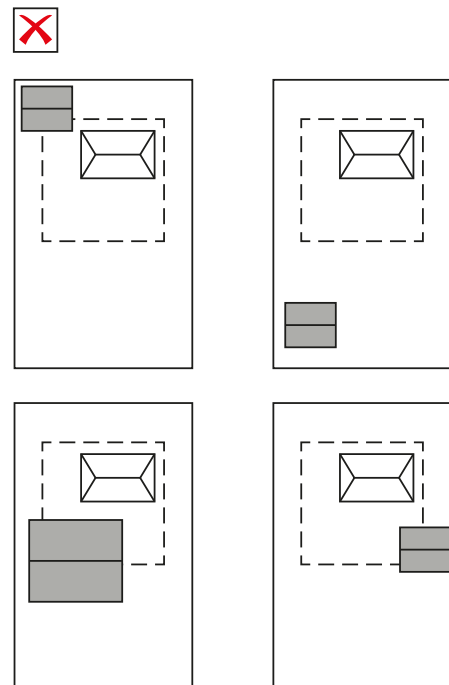
No fixture is to be visible from the street.

Roof mounted services must be located below the roof ridge line and coloured to match the roof material.

External plumbing is to be concealed from public view except for downpipes and gutters which must compliment the house colour.

External fixtures include, but are not limited to:

- Air conditioners and evaporative coolers,
- Television antennae and satellite dishes,
- Solar hot water systems and tanks,
- Waste and recycling bins,
- External plumbing.



Urban Living Design Guidelines

Fencing

No front fences will be permitted.

Side And Rear Fencing (Interlot Fencing)

Side and rear boundary fences shall:

- 1. Not exceed 1.95m in height
- 2. Be constructed from capped timber palings with exposed timber posts (75mm X 125mm).
- 3. Finish a minimum of 1m behind each side of the front facade (not including the entry feature/porch).

Corner Fencing

Side boundary fencing along the secondary street frontage of a corner lot shall:

- 4. Not exceed 1.95m in height
- 5. Be constructed from capped timber palings with exposed timber posts (75mm X 125mm).
- 6. Finish at least 3m behind the front façade and behind the corner treatment, whichever is greater.

Ancillary Items

The construction of the dwelling must commence within 12 months of settlement and must be completed within 12 months from the start of works.

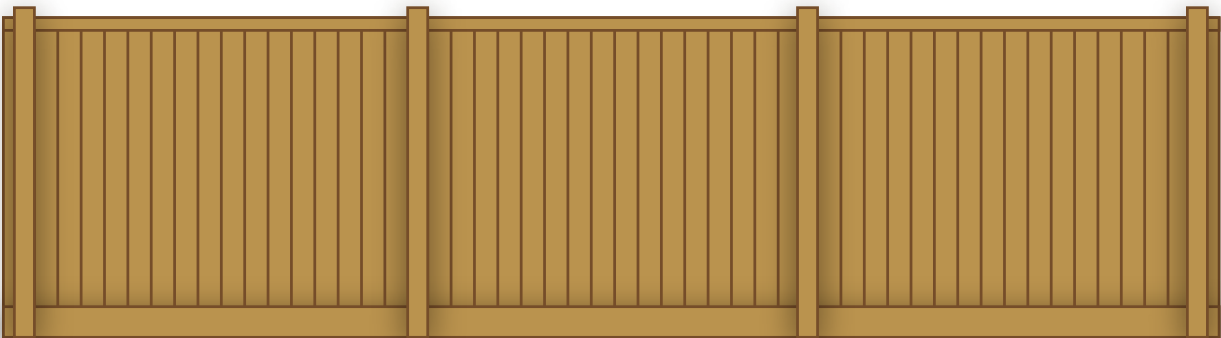
Boundary fencing must be fully constructed prior to occupancy.

Driveways must be fully constructed prior to occupancy.

Fence Example

Timber Capping

Exposed Posts 125mm x 75mm



Timber Plinth

Lapped Timber Pailings

